

## **(Specifications)**

STRUCTURE:	RCC Framed Structure.
EXTERIOR:	To Be Finished With Suitable Weather Proof Paint
INTERIOR WALLS:	Bricks Wall with Cement Plaster and Pop Finish.
LOOBY:	Elegant Vitrified Tiles.
FLOORING:	Marble.
PATHEWAY:	Elegant Coloured Pavers Block.
STAIRWAY:	Marble.
WINDOWS:	Anodized Aluminum Windows.
TOILET:	Marble Flooring, Gazed Ceramic Tiles up to 7ft Height on Walls.
KITCHEN:	Heavy Duty semi Glazed Ceramic Tiles on Floor. Glazed Ceramic Tiles up to 2 Ft. above dodo, Black Granite Cooking Platform with Stainless Steel Sink.
DOORS:	Decorative Wooden Panelled Doors in Main entrance with night latch. IS approved flush doors in Bed room, kitchen, veranda toilet WC.
HARDWARE:	Brass or Stainless Steel hardware fitting of reputed make.
ELECTRICAL:	Concealed insulated copper wire modular switches, Cable TV, Telephone, intercom points in each flat.
WATER SUPPLY:	24 Hours Uninterrupted.
SANITARY FITTINGS & FIXTURES:	Ceramic basins & water closet of reputed make, wall mixture & other fittings of MARC.
COMMON FACILITIES:	1) Five passenger lift. 2) Standby Generator for lift & common area & emergency load for each flat at extra cost. 3) Security goomty for 24 hour duty

### **(Common Areas Phoenix-3)**

1. Main Entrance;
2. Driveways and pathways;
3. Staircase on all the floors;
4. Staircase landings on all floors;
5. Common passage and lobby on the ground floor excepting car parking space;
6. liftwell, lift and lift room;
7. Overhead Water tank and supply pipes;
8. Drainage and sewers;
9. Pump House
10. Roof.

**(Interest Free Deposits and charges, Legal Fees,  
Nomination charges)**

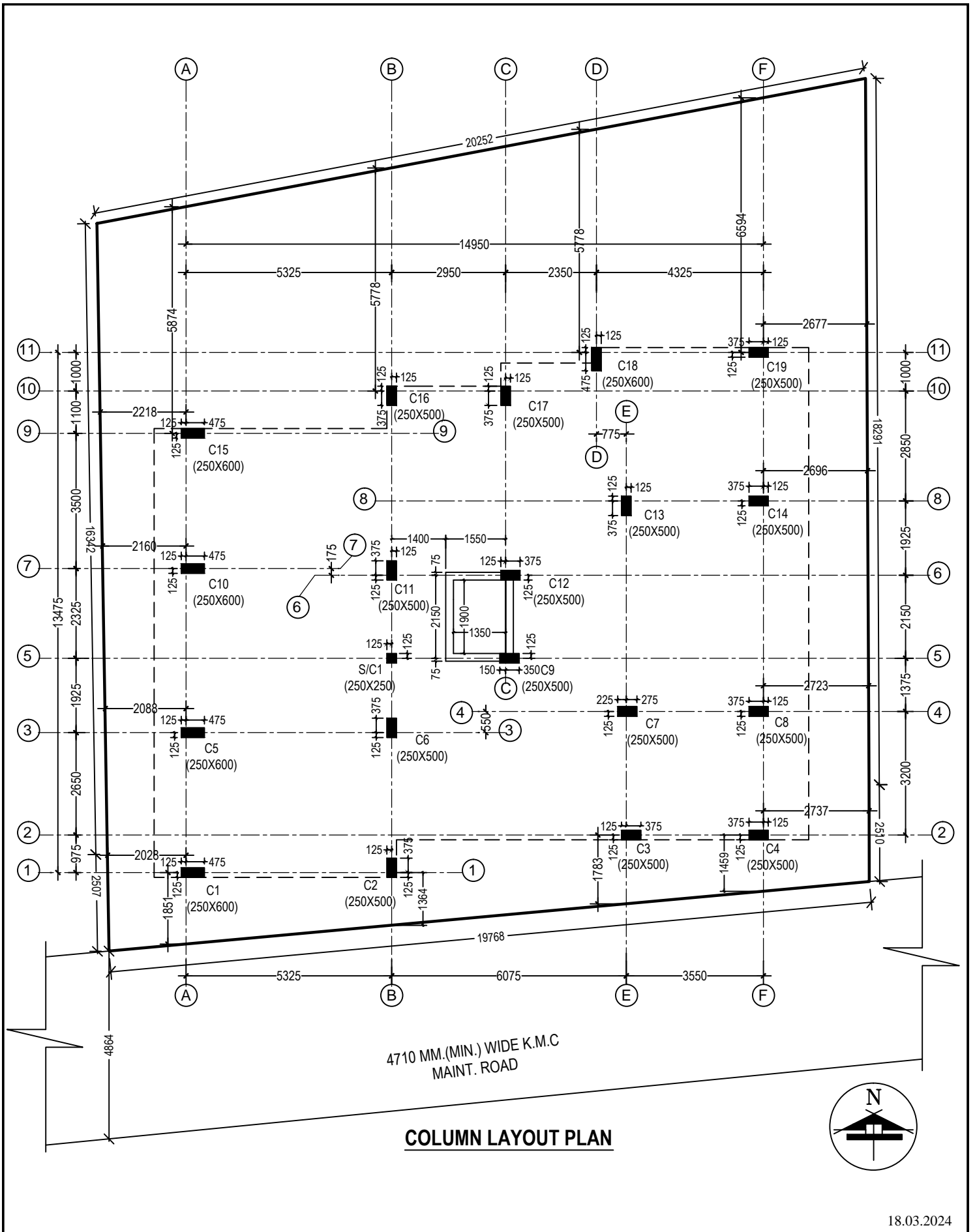
1. Maintenance deposit - 12 months advance maintenance charges for the said Apartment.
2. Sinking Fund – Rs.25,000/- (This amount is payable as funds for future repairs replacement, improvements and developments in the said Project. This amount shall be and/or may be adjusted against any arrears in maintenance charges and/or applicable taxes as the Promoter or the Association deem fit and proper) -
3. **Transformer Charges & Electricity Charges-** Rs.25,000/- .Provided the Allottee shall pay the Deposit to CESC Ltd. directly on account of Individual Meter on actual.
4. **Diesel Generator Power Backup-** Rs.35,000 for 1 Kilowatt power backup.
5. **Property tax deposit-** Rs.15,000/- (This amount is payable against proportionate share of Property Tax for the said Apartment for twelve months)
6. Nomination charges- Rs.30000/- each nomination.
7. Legal fees- Rs.12,500/- for this Agreement and Rs.12,500/- for Deed of Sale. In case of nomination a fees of additional Rs.15,000/- shall be payable by the Allottee. (Incidental expenses towards registration to be additional costs.)

## **(Payment Plan)**

<b>INSTALLMENT NO</b>	<b>STAGES</b>	<b>TERMS</b>
1	ON BOOKING	15%
2	ON AGREEMENT REGISTRATION	15%
3	ON COMPLETION OF FOUNDATION	10%
4	ON COMPLETION OF 1st FLOOR SLAB	10%
5	ON COMPLETION OF 2nd FLOOR SLAB	10%
6	ON COMPLETION OF 3rd FLOOR SLAB	5%
7	ON COMPLETION OF 4th FLOOR SLAB	5%
8	ON COMPLETION OF 5th FLOOR ROOF	5%
9	ON COMPLETION OF BRICK WORK AND PLASTER	5%
10	ON COMPLETION OF ELECTRICAL WORK AND PLUMBING	5%
11	ON COMPLETION OF FLOORING	5%
12	ON COMPLETION OF OUTSIDE PAINTING	5%
13	ON FINAL POSITION	5%

**(Common Expenses/Maintenance Charges)**

Maintenance charges @Rs.2.50/- per square feet calculated on carpet area of the Apartment shall be payable per month by the Allottee to the Promoter.



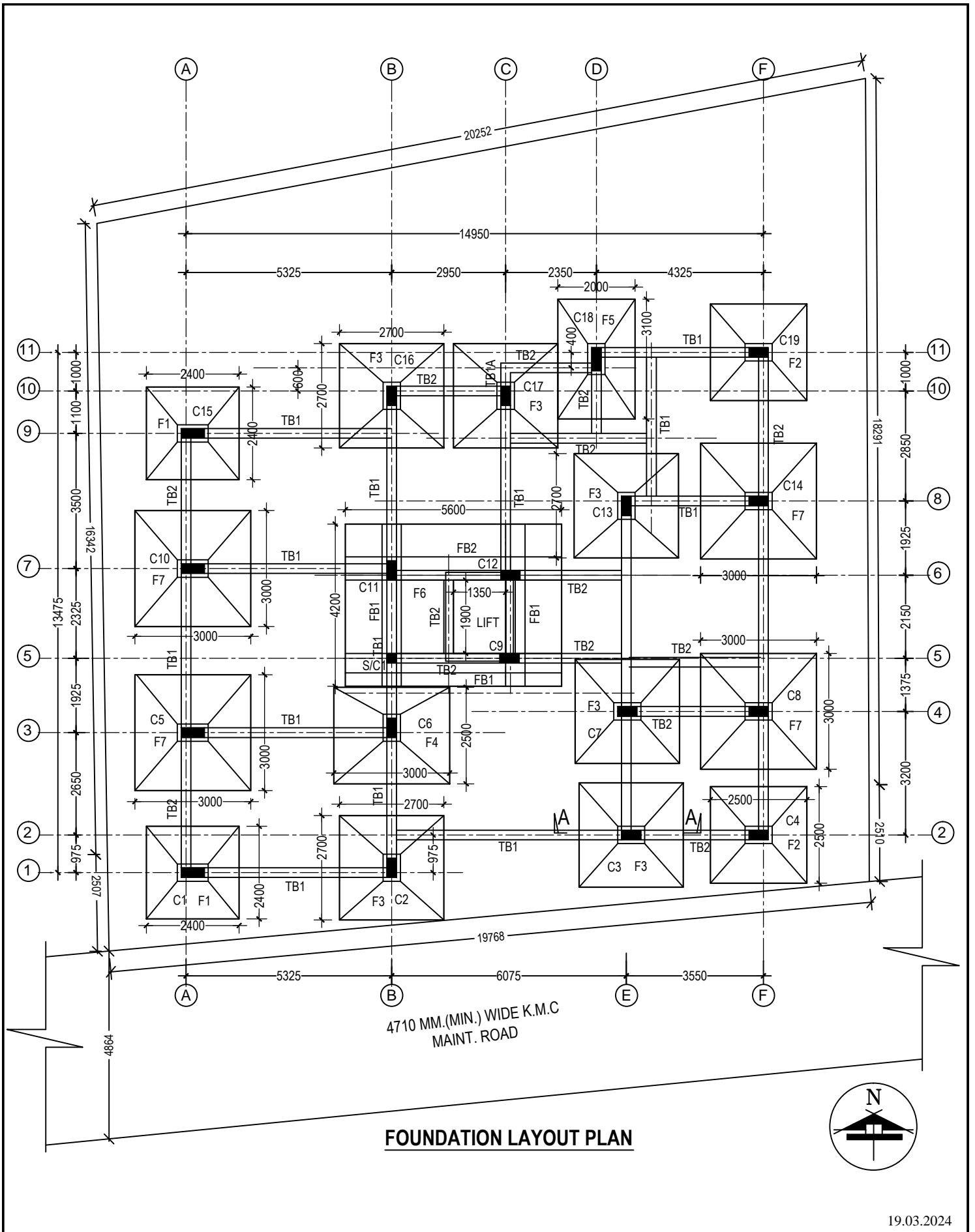
PROPOSED G+III STORIED (HT.-12.400MT.) RESIDENTIAL BUILDING AT PREMISES NO - 17, RAJA RAM MOHAN ROY ROAD, WARD NO.-115, BOROUGH NO.-XIII, P.S. - HARIDEVPUR, KOLKATA - 700 041.

ARCHITECTURAL CONSULTANT

**syn tech engg pvt. ltd.**  
(redefining synergy technologies)

ARCHITECTS . ENGINEERS . INTERIOR DESIGNERS . LANDSCAPE

367, Lake Gardens Kolkata - 700 045 .Tel. : +91-33 2422 7811, +91-33 4064 4587  
e-mail: synergytechnologescalcutta@gmail.com www. synergytechnologescalcutta.com



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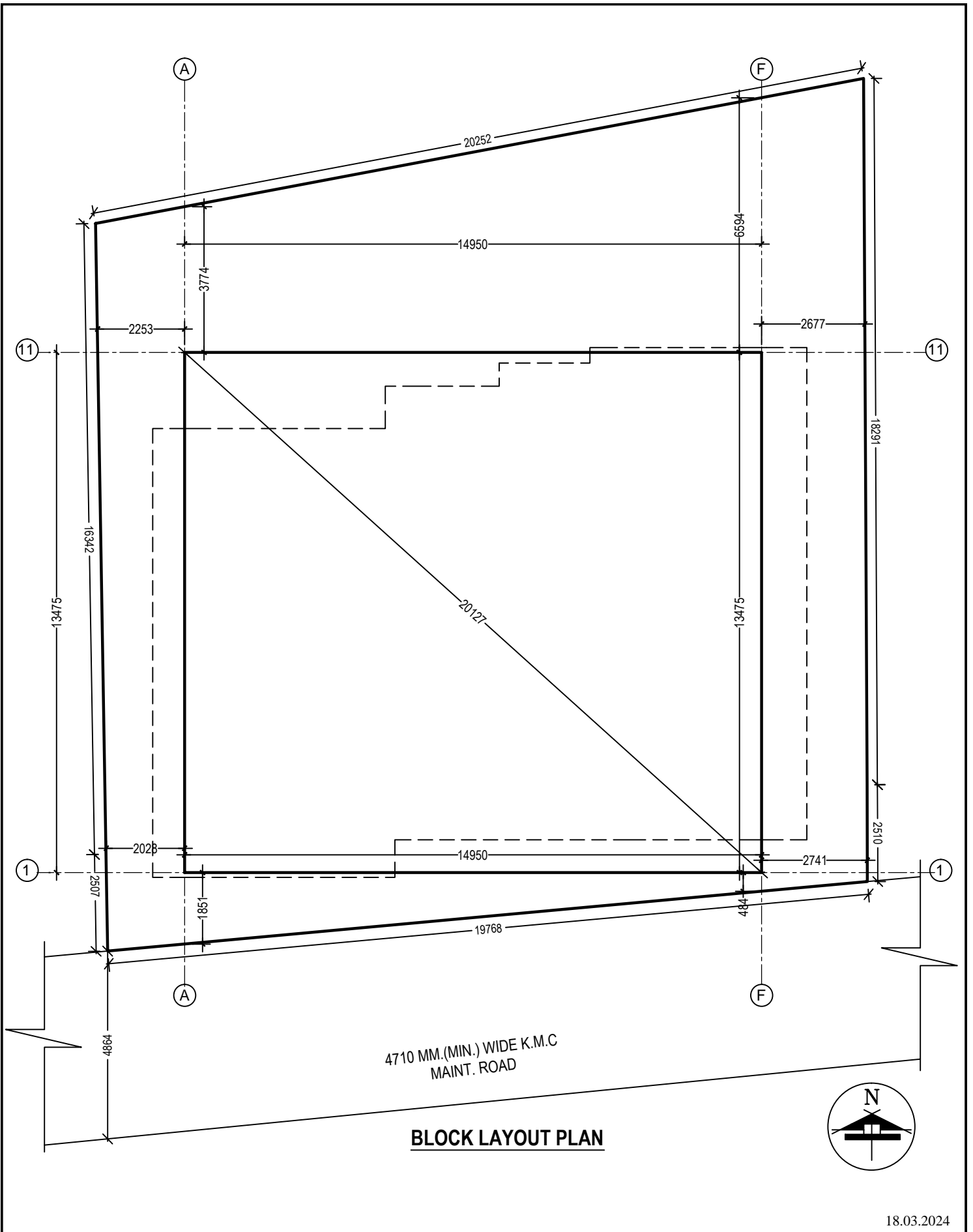
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18.03.2024

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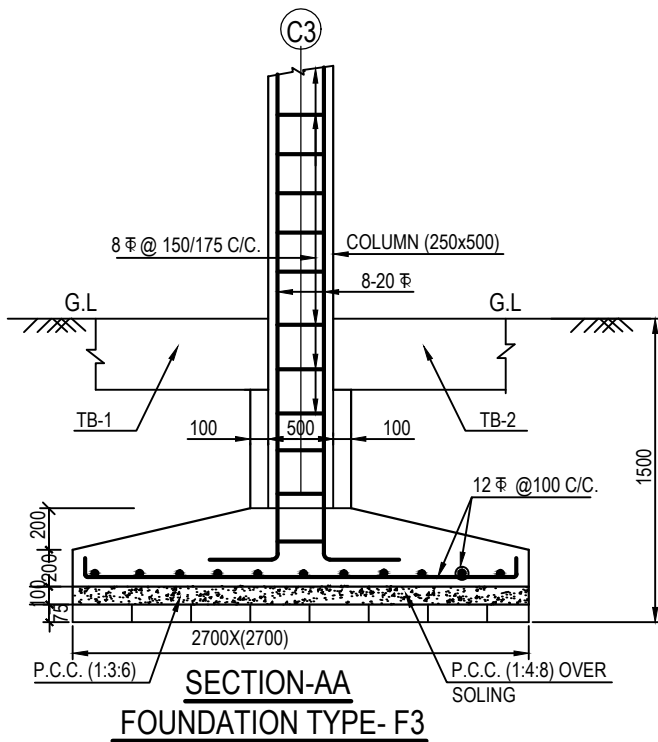
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SCHEDULE OF COLUMN (M-25 GRADE)					LONG SECTION OF COLUMN STIRRUP SPACING
COLUMN MARKED	C1,C5,C10,C15,C18	C6,C7,C9,C11,C12,C16,C17	C3,C4,C8,C13,C14,C19,	S/C1 (UP TO TIE BEAM)	
FOUNDATION TO 2ND. FLOOR					
2ND. FLOOR TO ROOF				—	

SCHEDULE OF FOUNDATION				
FDN. MARKED	FDN. SIZE	FDN. SLAB THICKNESS	FOUNDATION SLAB REINFORCEMENT	
			LONGER DIRECTION	SHORTER DIRECTION
F1	2400X2400	200 TO 350	12 Φ @ 150 C/C.	12 Φ @ 150 C/C.
F2	2500X2500	200 TO 400	12 Φ @ 125 C/C.	12 Φ @ 125 C/C.
F3	2700X2700	200 TO 400	12 Φ @ 100 C/C.	12 Φ @ 100 C/C.
F4	3000X2500	200 TO 400	16 Φ @ 150 C/C.	12 Φ @ 150 C/C.
F5	3100X2000	200 TO 400	12 Φ @ 100 C/C.	12 Φ @ 150 C/C.
F6	4200X5600	350	16 Φ @ 150 C/C.(BOTT) 12 Φ @ 150 C/C.(TOP)	16 Φ @ 150 C/C.(BOTT) 12 Φ @ 150 C/C.(TOP)
F7	3000X3000	250 TO 400	16 Φ @ 150 C/C.	16 Φ @ 150 C/C.



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CONSULTANT

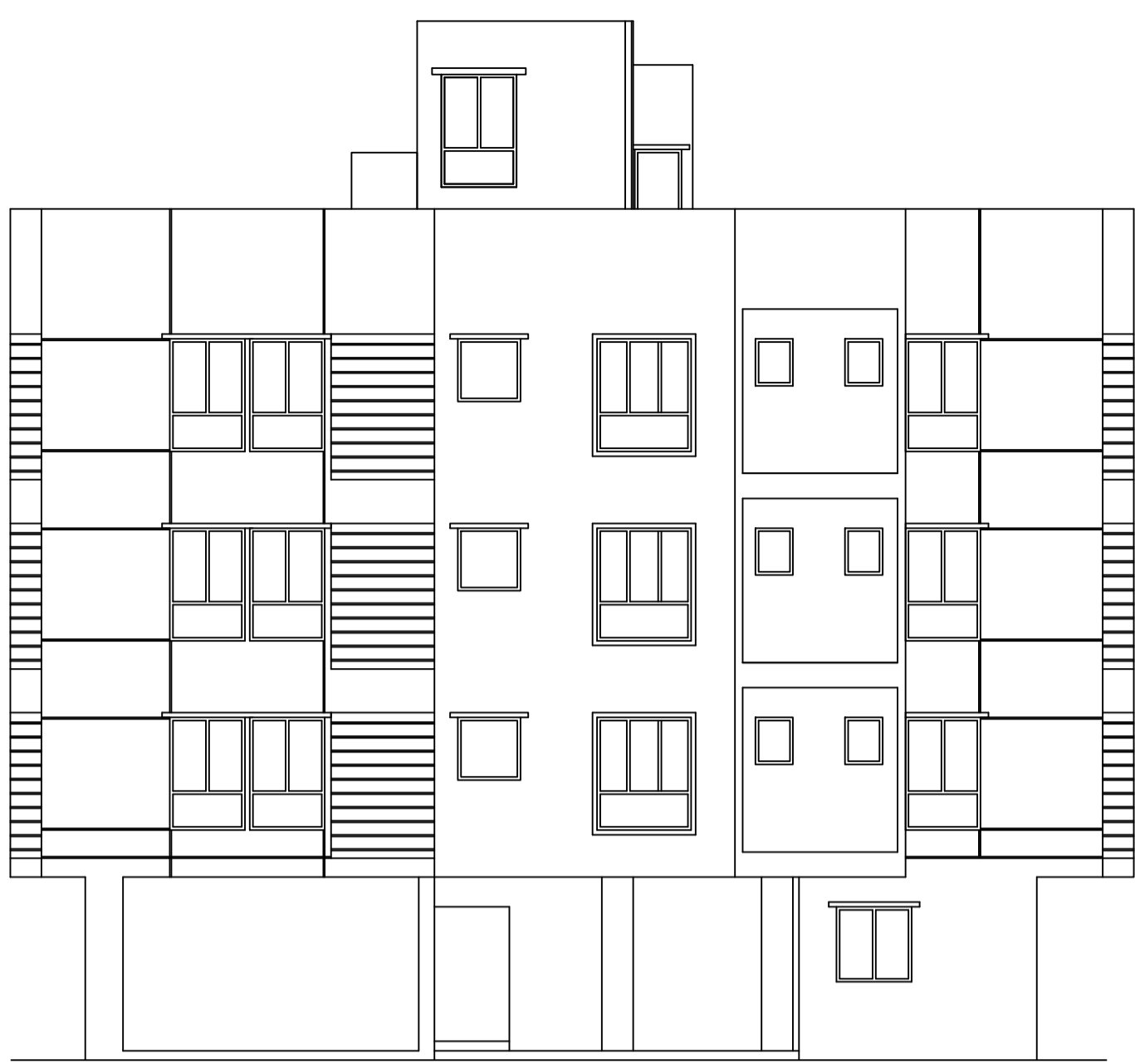
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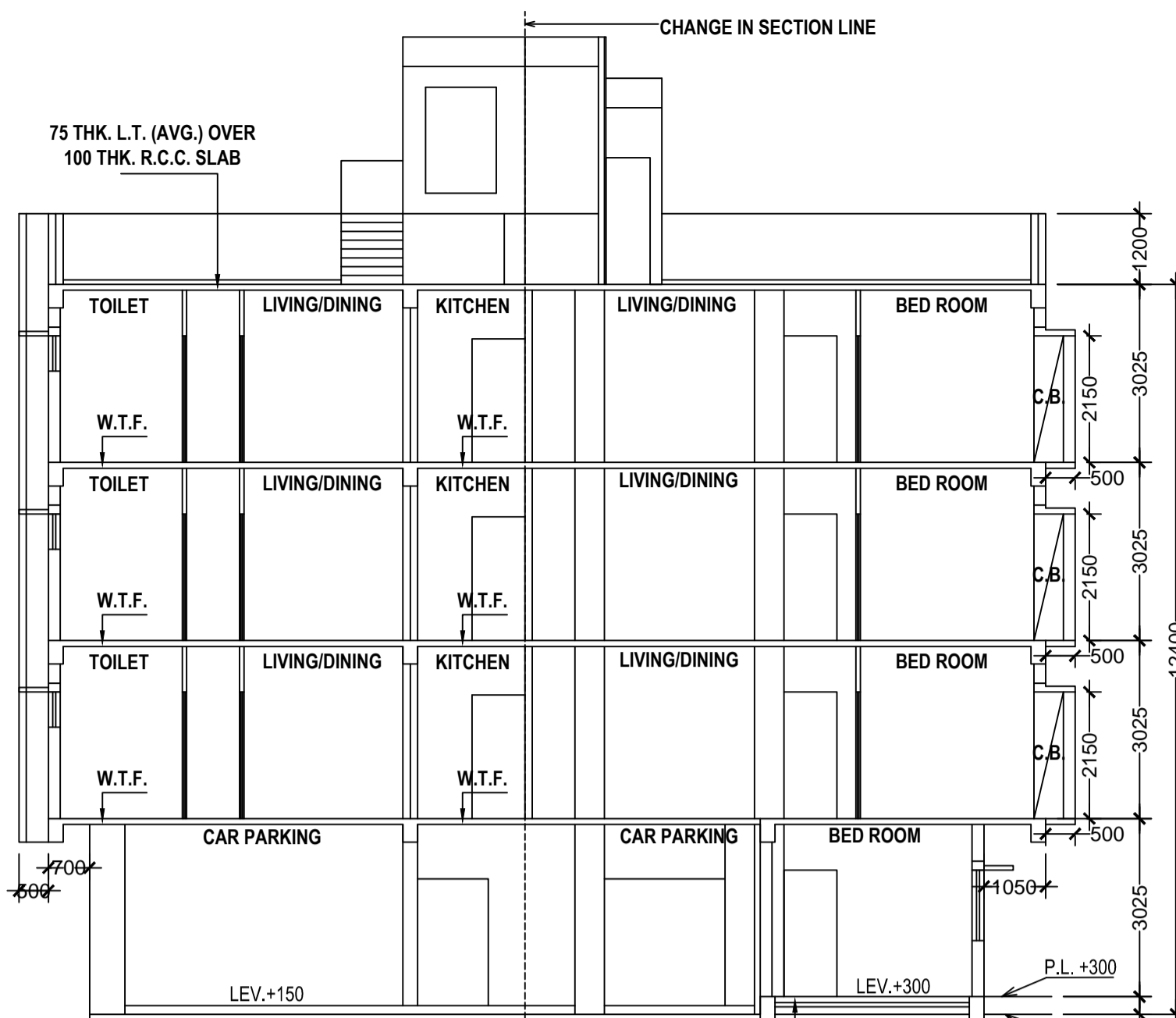
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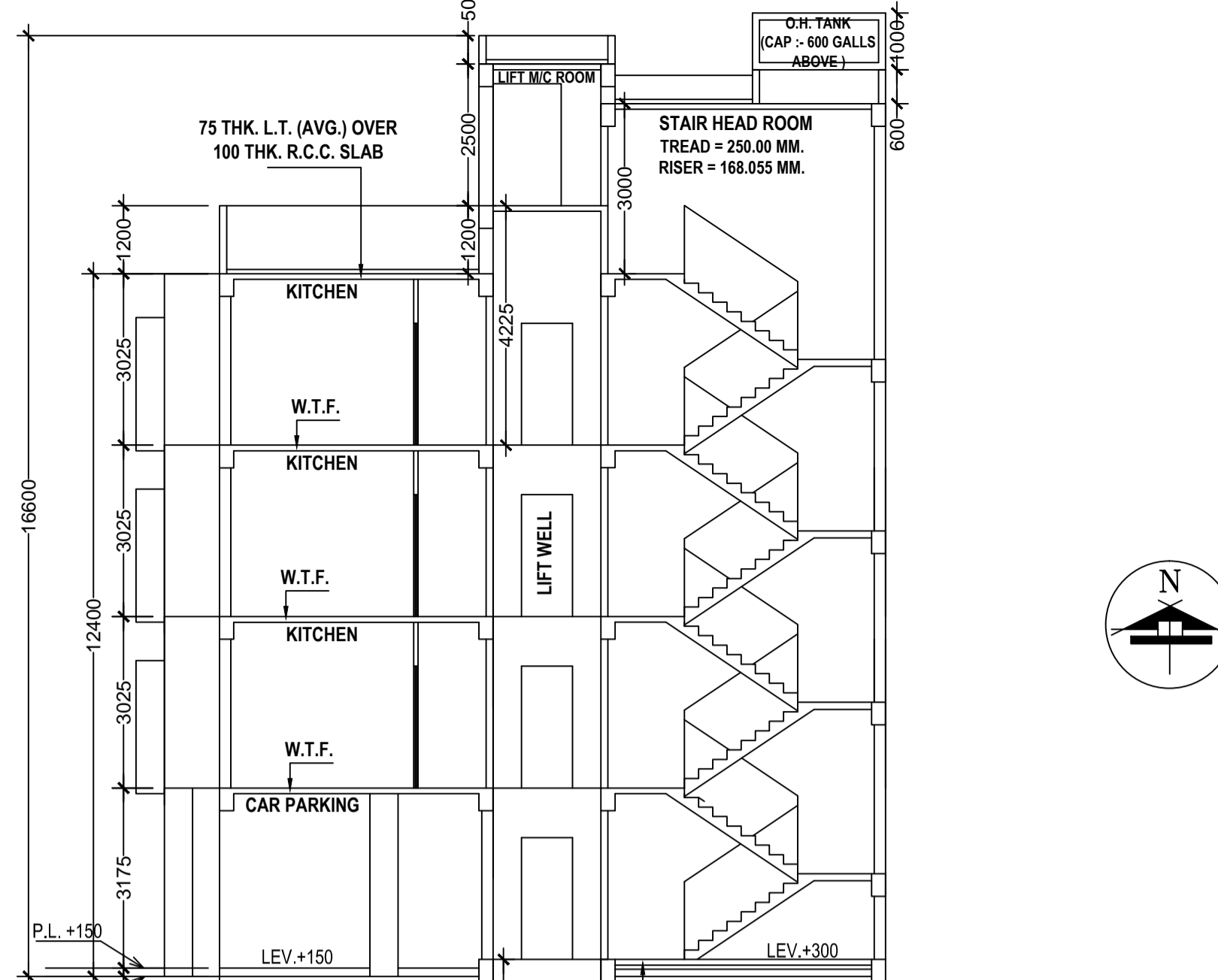
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**FRONT ELEVATION**  
SCALE : 1 : 100

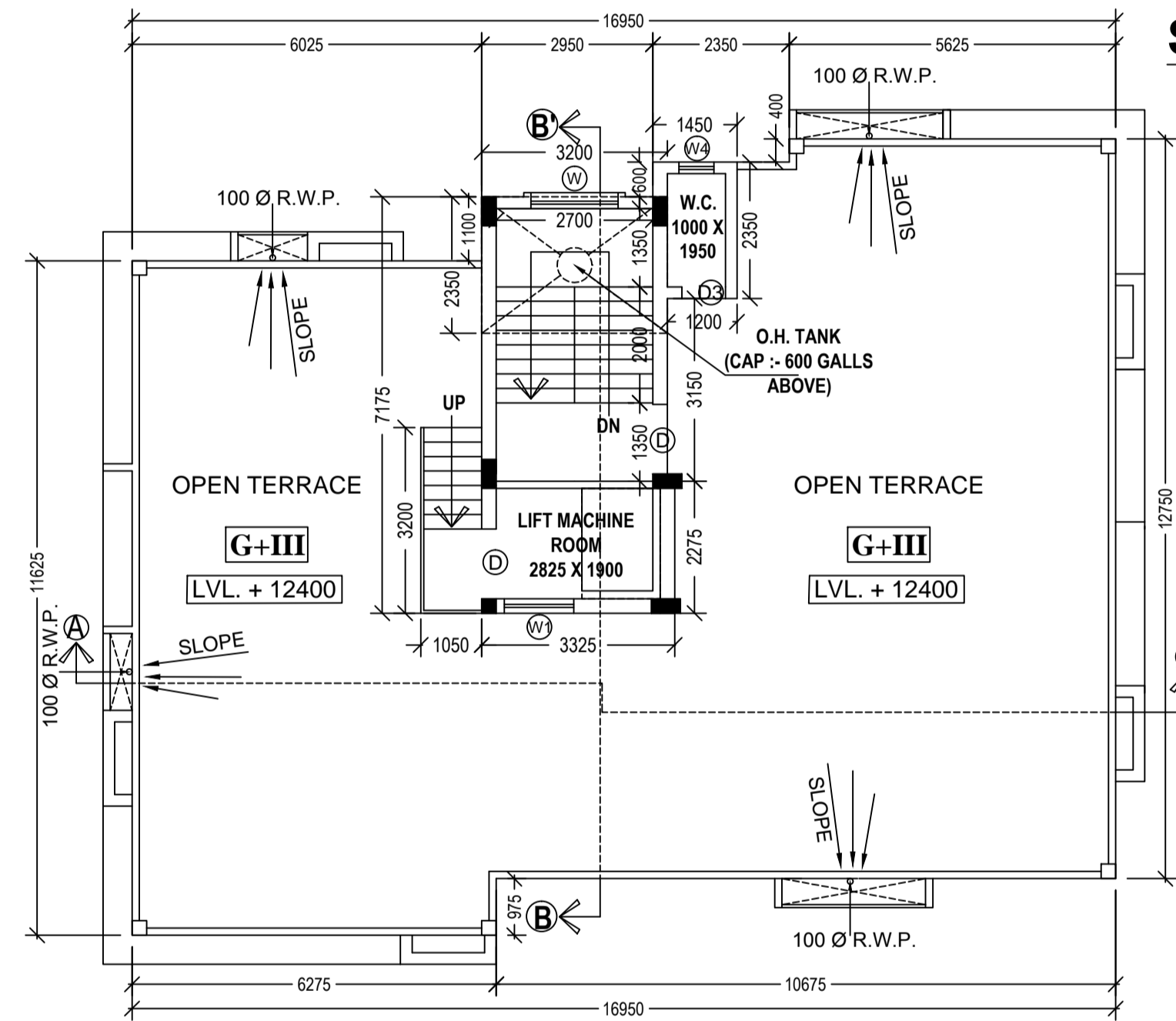


**SECTION THROUGH A - A'**  
SCALE : 1 : 100

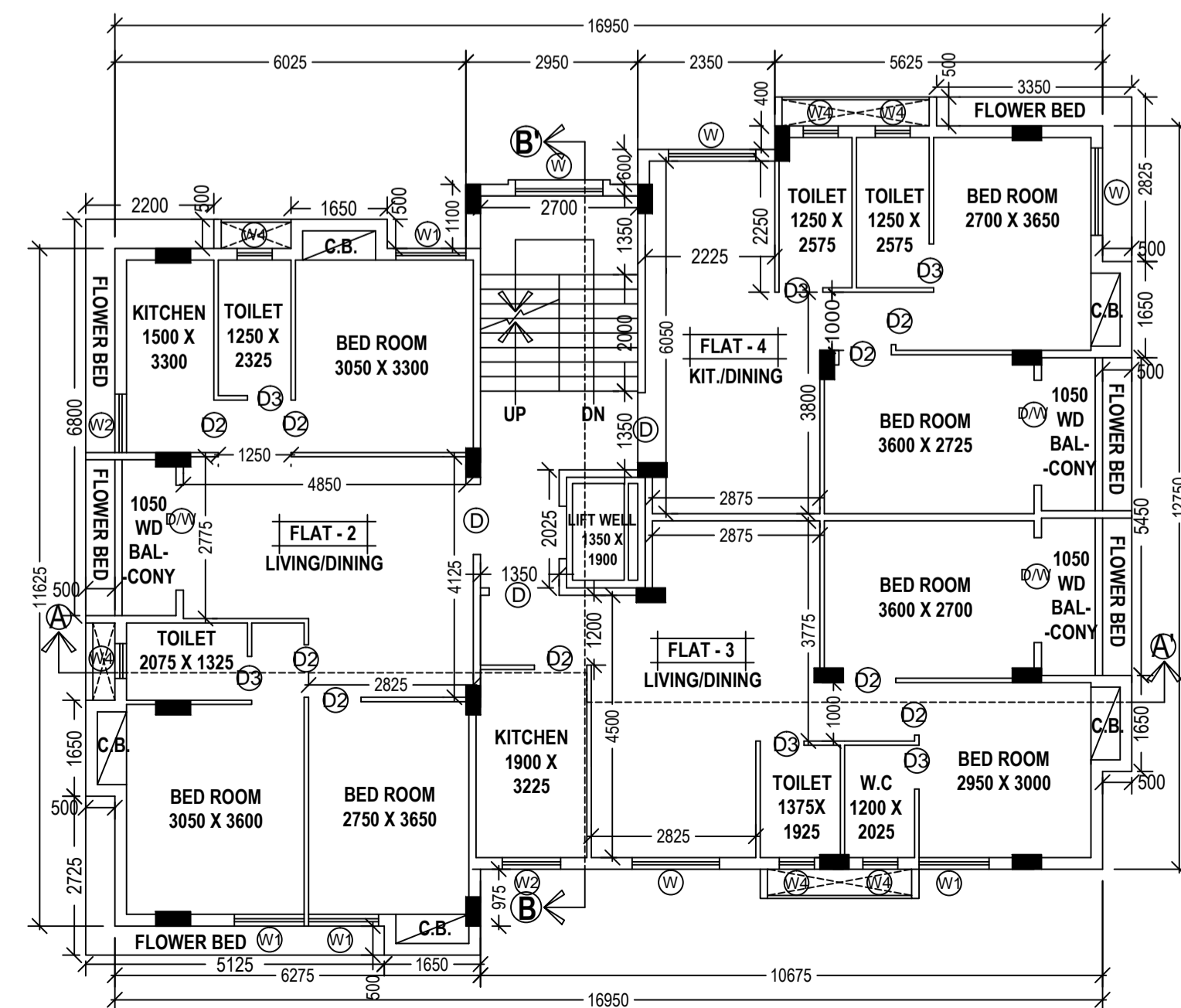


**SECTION THROUGH B - B'**  
SCALE : 1 : 100

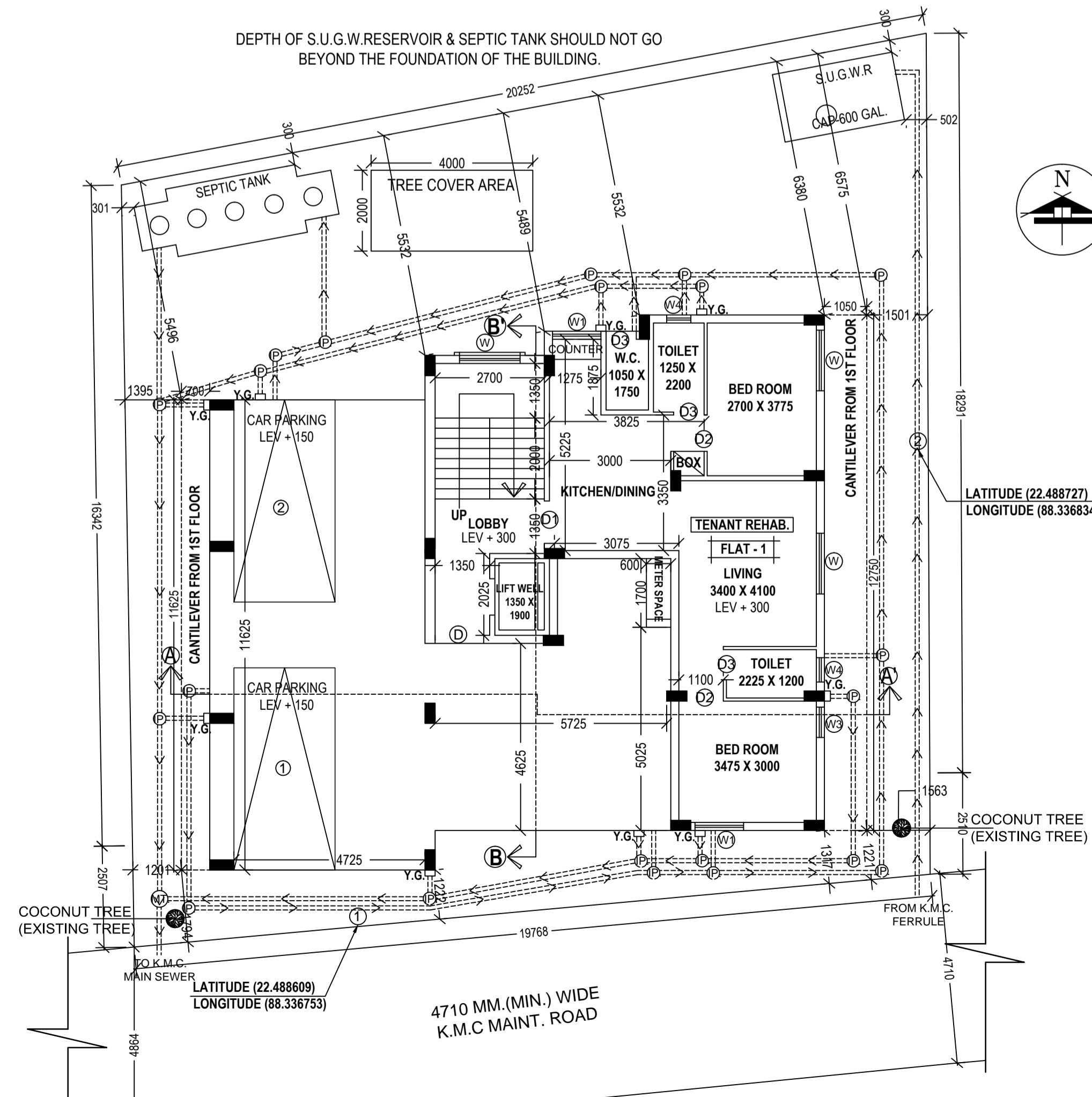
DOOR WINDOW SCHEDULE					
TYPE	WIDTH	HT.	TYPE	WIDTH	HT.
D	1200	2150	W	1500	1800
D1	1050	2150	W1	1200	1800
D2	900	2150	W2	1000	1800
D3	750	2150	W3	750	1800
DW	1800	2150	W4	600	600



**ROOF PLAN**  
SCALE : 1:100



**1ST, 2ND, 3RD FLOOR PLAN**  
SCALE : 1:100



**GROUND FLOOR PLAN**  
SCALE : 1:100

**SPECIFICATIONS**  
R.C.C. FRAME STRUCTURE WITH CONC. GRADE 1:1.5:3.  
200 M.M. THK. EXTERNAL. 125 & 75 M.M. THK. INTERNAL WALLS WITH 1:4 CEMENT MORTAR JOINTS.  
STEEL Z-SECTION WINDOWS.  
CAST-IN-SITU MARBLE FLOORING.  
1:6 & 1:4 CEMENT PLASTER ON INTERNAL WALLS AND CEILING RESPECTIVELY.  
WATER PROOFING TREATMENT.  
P.O.P. PUNNING ON INTERNAL WALLS & CEILING.

**STATEMENT OF THE PLAN PROPOSAL**

**PART-A:**

**1. ASSESSE NO : 411151200179**

**2. DETAIL OF REGISTERED DEED OF CONVEYANCE .**  
BOOK NO : I VOL. NO : 1602-2023 PAGE NO : 92493 TO 92525  
BEING NO : 160202315 DATED : 01.03.2023 PLACE : D.S.R. - II SOUTH 24 - PARGANAS

**3. DETAIL OF REGISTERED POWER OF ATTORNEY .**  
BOOK NO : I VOL. NO : 1603-2023 PAGE NO : 389657 TO 389671  
BEING NO : 160314417 DATED : 20.09.2023 PLACE : D.S.R. - III SOUTH 24 - PARGANAS

**4. DETAIL OF REGISTERED BOUNDARY DECLARATION .**  
BOOK NO : I VOL. NO : 1603-2023 PAGE NO : 499734 TO 499745  
BEING NO : 160318230 DATED : 29.11.2023 PLACE : D.S.R. - III SOUTH 24-PARGANAS

**5. DETAIL OF REGISTERED NON EVICTION OF TENANT .**  
BOOK NO : I VOL. NO : 1603-2023 PAGE NO : 499615 TO 499625  
BEING NO : 160318229 DATED : 29.11.2023 PLACE : D.S.R. - III SOUTH 24-PARGANAS

**6. a) AREA OF LAND (Physical) : 5K-14CH-05FT = 392.976 SQM**  
**b) NO OF STOREY : G+III**

**7. NO. OF TENAMENTS : 10 NOS.**

**8. SIZE OF TENAMENTS : a) 50.0 - 75.0 Sqm ..... 07 NOS  
b) 75.0 - 100.0 Sqm ..... 03 NOS**

**PART-B:**

1. AREA OF LAND AS PER TITLE DEED	= 5K-14CH-05FT = 392.976 SQM
2. AS PER BOUNDARY DECLARATION	= 5K-14CH-05FT = 392.976 SQM
3. NET LAND AREA	= 392.976 SQM
4. (i) PERMISSIBLE GROUND COVERAGE	= 53.567 % = 210.505 SQM
(ii) PROPOSED GROUND COVERAGE	= 52.341 % = 205.688 SQM
5. PROPOSED HEIGHT	= 12.400 MT.

GROUND FLOOR	CUT OUT			EXEMPTED AREA			NET FLOOR AREA
	GROSS COVERED AREA	STAIR DUCT	LIFT WELL	STAIR-STAIR LOBBY	LIFT LOBBY		
1ST FLOOR	295.688 SQM	-	2.565 SQM	12.69 SQM	2.734 SQM	187.899 SQM	168.739 SQM
2ND FLOOR	295.688 SQM	-	2.565 SQM	12.69 SQM	2.734 SQM	187.899 SQM	187.899 SQM
3RD FLOOR	295.688 SQM	-	2.565 SQM	12.69 SQM	2.734 SQM	187.899 SQM	187.899 SQM
TOTAL	891.277 SQM	-	7.695 SQM	50.76 SQM	10.936 SQM	713.836 SQM	713.836 SQM

**7. TENEMENTS & CAR PARKING CALCULATION :-**

**(A) RESIDENTIAL:**

MARKED TENEMENT SIZE	PROPORTIONAL AREA TO BE ADDED	ACTUAL TENEMENT AREA	NO. OF TENEMENT	REQUIRED CAR PARKING
1 64.281 SQ.M	7.7 SQ.M	71.981 SQ.M	1	
2 72.541 SQ.M	8.88 SQ.M	81.229 SQ.M	3	
3 61.489 SQ.M	7.365 SQ.M	68.854 SQ.M	3	
4 52.448 SQ.M	6.282 SQ.M	58.73 SQ.M	3	2 NOS

**(B) PARKING:**

(i) TOTAL REQUIRED CAR PARKING :- 2 NOS  
(ii) TOTAL PROVIDED CAR PARKING :- 2 NOS  
(iii) PERMISSIBLE AREA FOR PARKING = 50.0 SQ.M.  
(iv) PROVIDED AREA OF PARKING = 95.104 SQ.M.

**8. F.A.R.:**

(i) PERMISSIBLE F.A.R = 1.75  
(ii) PROPOSED F.A.R = (731.836 - 50.00) / 392.976 = 1.735<1.75

**9. MISC AREA:**

(i) STAIR HEAD ROOM AREA	-: 15.679 SQ.M.
(ii) LIFT MACHINE ROOM AREA	-: 7.564 SQ.M
(iii) TERRACE AREA	-: 205.688 SQ.M.
(iv) LIFT MACHINE ROOM STAIR AREA	-: 3.360 SQ.M.
(v) OVER HEAD TANK AREA	-: 7.519 SQ.M.
(vi) AREA OF W.C. AT ROOF	-: 2.97 SQ.M.
(vii) AREA OF CUP-BOARD	-: 12.375 SQ.M.
(viii) AREA OF TREE COVER (REQ.)	-: 7.797 SQ.M.(1.984%)
(ix) AREA OF TREE COVER (PRO.)	-: 8.00 SQ.M.(2.036%)

**Premises No : 17, Raja Ram Mohan Roy Road**  
**Assessee No : 411151200179**  
**Name of the Owner (s) / Applicant (s) :**  
**SRI GAUTAM SUREKA CONSTITUTED ATTORNEY OF SHREE NIL MADHAV CONSTRUCTION PRIVATE LIMITED**  
**Area of Land : 392.976 Sq mt.**  
**Name of L.B.S. : JOYDEEP MUKHERJEE** No. LBS/1641  
**Permissible height in reference to CCZM issued by AAI : 33.0 M.**  
Co-Ordinate in WGS 84 and site elevation (AMS):

Reference points marked in	Co-ordinate in WGS 84	Site Elevation (AMS)
The site plan of the proposal	Latitude Longitude	2.7 M.
1	22.488609 88.336753	2.7 M.
2	22.488727 88.336834	2.7 M.

That above information is true and correct in all respect and if at any stage, it is found otherwise, then we shall be fully liable for which KMC and other appropriate authority reserve the right to take appropriate action against us as per law.

**JOYDEEP MUKHERJEE**  
B.E. (CIVIL), L.B.S. - (I)  
Reg. No. - 641 (I)  
NAME OF L.B.S. (I)

**SRI GAUTAM SUREKA CONSTITUTED ATTORNEY OF SHREE NIL MADHAV CONSTRUCTION PRIVATE LIMITED**  
NAME OF OWNER / APPLICANT

**CERTIFICATE OF GEO - TECHNICAL ENGINEER**

UNDERSIGNED HAS INSPECTED THE SITE AND FOUND THAT THE ENTIRE SITE IS FULLY COVERED BY THE EXISTING STRUCTURE FOR WHICH SOIL TEST COULD NOT BE CARRIED OUT. SOIL TESTING SHALL BE CARRIED OUT AFTER DEMOLISHING THE EXISTING STRUCTURE AND REPORT SHALL BE SUBMITTED TO K.M.C. AT THE TIME OF PLINTH PREPARATION NOTICE.

**RUPAK KUMAR BANERJEE**  
B.C.E. M.E., M.I.G.S. M.I.E.  
CHARTERED ENGINEER  
G.T.E. - 3(I)  
NAME OF GEO-TECHNICAL ENGINEER

**CERTIFICATE OF STRUCTURAL ENGINEER**

INSPECTED THE SITE AND FOUND THAT THE SITE IS ENTIRELY COVERED BY THE EXISTING STRUCTURE. I SHALL CARRY OUT THE DESIGN OF BOTH FOUNDATION AND ALL STRUCTURAL ELEMENTS AS PER RELEVANT I.S. CODE & N.B.C. OF INDIA AFTER GETTING SOIL INVESTIGATION REPORT ( AFTER DEMOLISHING THE EXISTING STRUCTURE ) AND DESIGN CALCULATION. STRUCTURAL DRAWING SHALL BE SUBMITTED TO K.M.C. AT THE TIME OF PLINTH PREPARATION NOTICE.

**JOYDEEP MUKHERJEE**  
B.E. (CIVIL), E.S.E. - 178(I)  
NAME OF STRUCTURAL ENGINEER

**DECLARATION OF L.B.S.**

CERTIFIED THAT THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULES 2009, AS AMENDED FROM TIME TO TIME AND THE SITE CONDITION INCLUDING THE ABUTTING ROAD IS CONFORM WITH THE PLAN. IT IS A BUILDABLE SITE NOT A TANK OR FILLED UP TANK. THERE IS AN EXISTING STRUCTURE. TO BE DEMOLISHED BEFORE COMMENCEMENT OF WORK IT IS PARTLY OCCUPIED BY THE OWNER & TENANT.

**JOYDEEP MUKHERJEE**  
B.E. (CIVIL), L.B.S. - (I)  
Reg. No. - 641 (I)  
NAME OF L.B.S.

**DECLARATION OF OWNER**

I DO HERE BY DECLARE WITH FULL RESPONSIBILITY THAT, I SHALL ENGAGE L.B.S & E.S.E DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF L.B.S & E.S.E DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN) K.M.C AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADJOINING STRUCTURE. IF ANY SUBMITTED DOCUMENT ARE FAKE THE K.M.C AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF S.U.G.W.R & SEPTIC TANK TAKEN UNDER THE GUIDANCE OF L.B.S/E.S.E BEFORE STARTING OF BUILDING FOUNDATION. THE PLOT IS IDENTIFIED BY ME. THE PLOT IS FULLY DEMARCATED BY BOUNDARY WALL. THERE IS TENANT. THERE IS NO COURT CASE PENDING AGAINST THIS PLOT.

**SRI GAUTAM SUREKA CONSTITUTED ATTORNEY OF SHREE NIL MADHAV CONSTRUCTION PRIVATE LIMITED**  
NAME OF OWNER / APPLICANT

B.P. NO :- 2023130219 DATED :-16.02.2024 VALID UPTO :- 15.02.2029

**DEBOJIT DAS** Digitally signed by DEBOJIT DAS  
Date: 2024.02.17 15:04:50 +05'30'

DIGITAL SIG. OF EXECUTIVE ENGINEER (K.M.C.)  
BR. XIII / BUILDING DEPARTMENT

CHANCHAL MOJUMDER Digitally signed by CHANCHAL MOJUMDER  
Date: 2024.02.16 15:12:12 +05'30'

DIGITAL SIG. OF ASSISTANT ENGINEER (K.M.C.)  
BR. XIII / BUILDING DEPARTMENT

**GROUND FLOOR PLAN, FIRST, SECOND & THIRD FLOOR PLAN, ROOF PLAN, FRONT SIDE ELEVATION, SECTION AT A-A', B-B' .**

PROPOSED G+III STORIED (HT.-12.400MT.) RESIDENTIAL BUILDING U/S 393 A OF K.M.C. ACT 1980 & UNDER BUILDING RULE 2009, AT PREMISES NO - 17, RAJA RAM MOHAN ROY ROAD, WARD NO.-115, BOROUGH NO.-XIII, P.S. - HARIDVEPUR, KOLKATA - 700 041.

JOB NO.	DRG. NO.	DATE	DEALT
2/2	ARCH / CORP - A DWG	03.02.2024	AYAN